

GRAND BAY NORTH FPL PATROL ROAD AND BIKE PATH GRADING/GEOMETRY AND PAVING/MARKING PLANS CITY OF DORAL, FLORIDA 33178

SECTION 8 T53S-R40E

PROJECT SITE

GENERAL NOTES

- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD).
- THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE, SIZE, AND LOCATION OF EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- ALL WORK, MATERIALS AND RESTORATION SHALL CONFORM TO THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
- IT IS THE INTENT OF THESE PLANS TO COMPLY WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
- IT IS THE OWNER'S AND/OR CONTRACTOR'S RESPONSIBILITIES TO OBTAIN ANY CONSTRUCTION AND MAINTENANCE EASEMENTS THAT MAY BE REQUIRED FOR THIS PROJECT.
- DIMENSIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. FOR EXACT DIMENSIONS, SEE FINAL PLAT OR SITE PLAN AS PREPARED BY A REGISTERED LAND SURVEYOR. FIELD LAY OUT OF THE WORK SHALL BE AS PER THE FINAL PLAT OR SITE PLAN AND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- FRENCH DRAIN TO BE CONSTRUCTED WITH 15-INCH DIA. PERFORATED PIPE UNLESS OTHERWISE NOTED.
- THE ENGINEER IS NOT RESPONSIBLE FOR COORDINATING THE WORK OF OTHER UTILITIES, SUB-CONSULTANTS OR TRADES. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE COORDINATION FOR, BUT NOT LIMITED TO, THE LOCATION OF WATER, SEWER, AND DRAINAGE UTILITIES, AS WELL AS THE SERVICES, WITH THE LOCATION OF DRIVEWAYS, RAMPS, LANDSCAPING, OTHER INFRASTRUCTURE IMPROVEMENTS AND OTHER SURFACE FEATURES.
- CONTRACTORS TO SUBMIT SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO ORDERING STRUCTURES AND OTHER MATERIALS.
- THE CONTRACTOR SHALL RESTORE ALL EXISTING PAVEMENT, UTILITIES (ABOVE AND BELOW GROUND), AND SURFACE FEATURES DISTURBED DURING CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN THE EXISTING IN ACCORDANCE WITH THE DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
- DADE COUNTY FLOOD CRITERIA ELEVATION: +7.00 N.G.V.D.
- OCTOBER WATER LEVEL ELEVATION: +3.80 N.G.V.D.
- MINIMUM F.F. ELEVATION: +N/A N.G.V.D.
- FEMA ELEVATION: 6.00 (ZONE AH) N.G.V.D.
- CONTRACTOR TO BUILD-UP ASPHALT AROUND MANHOLES, VALVES, INLETS, AND OTHER APPURTENANCES.
- FOR DEMOLITION, FILL PLACEMENT VERIFICATION AND EARTHWORK PREPARATION INCLUDING COMPACTION, METHODS FOR DRIVE AREAS AND FILL PADS REFER TO GEOTECHNICAL REPORT PREPARED BY OTHERS.

CONTRACTOR RESPONSIBILITY AND NOTES

- UPON RECEIPT OF NOTICE TO START OF CONSTRUCTION, THE CONTRACTOR SHALL ARRANGE A PRE CONSTRUCTION CONFERENCE TO INCLUDE THE APPROPRIATE PERMITTING AGENCIES, THE OWNER, AND THE ENGINEER OF RECORD, AFTER OBTAINING A CONSTRUCTION PERMIT FROM THE APPROPRIATE PERMITTING AGENCY.
- THE CONTRACTOR SHALL OBTAIN A "SUNSHINE CERTIFICATION NUMBER" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- CONTRACTOR SHALL UNCOVER ALL KNOWN UNDERGROUND UTILITIES IN THE PATH OF THE WORK, WHETHER OR NOT THE UTILITIES ARE SHOWN ON THE PLANS, AND TAKE VERTICAL AND HORIZONTAL MEASUREMENTS OF THE LOCATION OF THESE UTILITIES, AND IF ANY CONFLICTS ARE APPARENT REPORT THE MEASUREMENTS TO THE ENGINEER OF RECORD.
- CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO RESOLVE CONFLICTS BETWEEN DESIGN AND EXISTING FEATURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS SUNSHINE CERTIFICATION NUMBER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- ALL EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS ARE TO BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE SEQUENCE OF UTILITY CONSTRUCTION TO PREVENT UNDERMINING THE EXISTING AND PROPOSED POWER POLES FOUNDATIONS AND OTHER UTILITIES.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND TAKE ALL NECESSARY STEPS SO THAT HIS OR HER EQUIPMENT MAINTAINS THE NECESSARY CLEAR DISTANCE TO PREVENT ACCIDENTAL CONTACT OR ARCHING.
- THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN AND AROUND THE FPL'S POWER POLES, ANCHORS AND OTHER STRUCTURES DURING CONSTRUCTION ACTIVITIES.

CODE REQUIREMENTS AND PERTINENT SAFETY REGULATIONS

- A. GENERAL:
EXCEPT AS PARTICULARLY NOTED ON THE PLANS, ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF CITY OF DORAL, PUBLIC WORKS DEPT. SPECIFICATIONS, THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL AND THE FLORIDA BUILDING CODE. IF ANY ITEM OF WORK IS NOT COVERED IN EITHER OF THOSE SPECIFICATIONS, IT SHALL BE CONSTRUCTED PER THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- B. CONSTRUCTION SAFETY:
ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHALL BE STRICTLY OBSERVED.
- C. TRENCH SAFETY ACT:
1. TRENCH WORK SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION EXCAVATION SAFETY STANDARDS, 29 C.F.R. 1926.650 SUBPART P. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA "TRENCH SAFETY ACT", AND ALL REQUIREMENTS OF O.S.H.A.
2. WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET (5.0') ARE REQUIRED, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID.
A. A REFERENCE TO THE SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.
B. WRITTEN ASSURANCES BY THE CONTRACTOR PERFORMING THE TRENCH EXCAVATION THAT SUCH CONTRACTOR WILL COMPLY WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
C. A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
4. WHERE A BID IS NOT SUBMITTED, THE CONTRACTOR SHALL SUBMIT THE INFORMATION LISTED IN ITEM 2, TO THE ENGINEER PRIOR TO STARTING WORK.
- D. SURVEY DATA:
1. ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE SUPERVISION OF A FLORIDA REGISTERED SURVEYOR.
2. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE DETERMINED FROM "AS-BUILT" PLANS AND/OR FIELD LOCATION AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IF ANY ADDITIONAL DIMENSIONS OR SPECIFICATIONS ARE NEEDED TO LAYOUT OR CONSTRUCT THE PROJECT. UPON REQUEST, AN ELECTRONIC FILE OR GEOMETRIC CONTROL SHEET WILL BE PROVIDED TO THE CONTRACTOR BY THE ENGINEER OF RECORD.

SYSTEM COMPONENT AND SHOP DRAWING NOTES

- ANY SYSTEM COMPONENT THAT IS ADDED DURING CONSTRUCTION MUST BE APPROVED IN ADVANCE BY THE ENGINEER OF RECORD. SUCH APPROVAL REQUIRES THE SUBMISSION OF A SHOP DRAWING (TWO COPIES) FOR EACH SYSTEM COMPONENT. SHOP DRAWINGS WILL ALSO BE REQUIRED FOR ALL NON-STANDARD ITEMS.
- SHOP DRAWINGS SHALL BE CHECKED AND APPROVED FIRST BY THE CONTRACTOR THEN REVIEW ONLY BY THE ENGINEER OF RECORD PRIOR TO THE PURCHASE OR INSTALLATION OF ANY SYSTEM COMPONENTS.
- INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

INSPECTION NOTES FOR CONTRACTOR

- THE CONTRACTOR AND/OR CLIENT SHALL NOTIFY THE ENGINEER OF RECORD, AT LEAST 24 HOURS PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:
- STORM DRAINAGE.
 - SUBGRADE; SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
 - LIMEROCK BASE; SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ASPHALTIC CONCRETE.
 - FINAL.

CLEANING UP NOTES

- DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- THE CONTRACTOR SHALL RESTORE OR REPLACE ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK. EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED. ALL NECESSARY HIGHWAY OR DRIVEWAY, SIDEWALK AND LANDSCAPING WORK, SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED AS REQUIRED BY THE APPROPRIATE PERMITTING AGENCIES.

CERTIFICATION OF COMPLETION AND RECORD DOCUMENTS

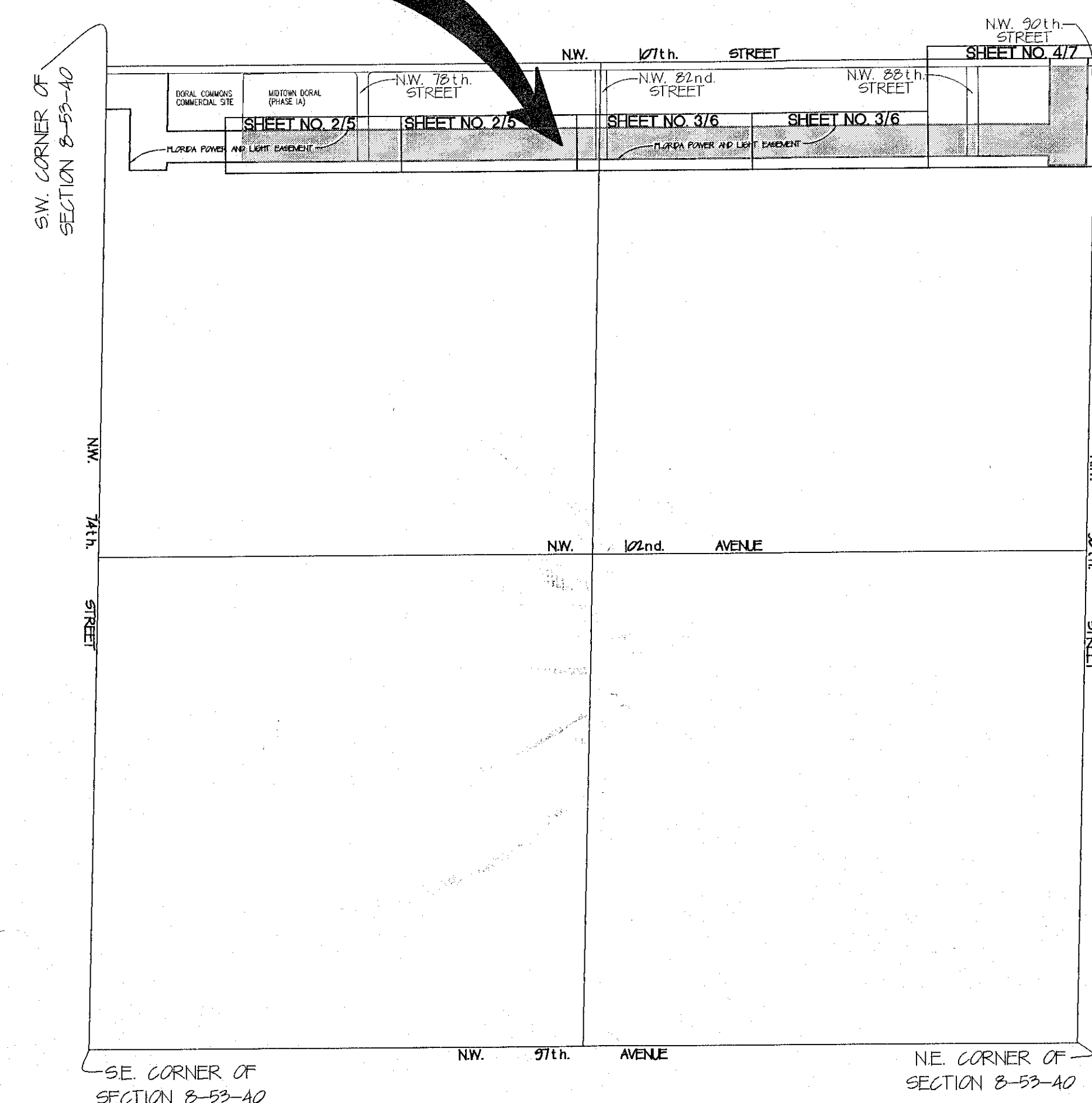
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH A SET OF FINAL "AS-BUILT" DRAWINGS, SIGNED AND SEALED BY A STATE OF FLORIDA LICENSED SURVEYOR, FOR ENGINEER'S REVIEW AND FILE.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL WORK ITEMS COMPLETED.
- ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER OF RECORD THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- PRIOR TO PLACEMENT OF ANY ASPHALT OR CONCRETE PAVEMENT, THE CONTRACTOR SHALL SUBMIT TO THE PERMITTING AGENCIES "AS-BUILT" PLANS SHOWING LIMEROCK BASE GRADES AND ALL DRAINAGE, WATER, AND SEWER IMPROVEMENTS. PAVING OPERATIONS SHALL NOT COMMENCE UNTIL THE APPROPRIATE PERMITTING AGENCIES HAVE REVIEWED AND APPROVED THE "AS-BUILTS".
- ALL REQUIRED DENSITY AND L.B.R. TEST RESULTS FOR SUBGRADE SHALL BE PROVIDED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE PERMITTING AGENCIES PRIOR TO PLACING THE LIMEROCK BASE MATERIAL.
- ALL REQUIRED DENSITY AND L.B.R. TEST RESULTS FOR LIMEROCK SHALL BE PROVIDED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE PERMITTING AGENCIES PRIOR TO PLACING ASPHALT.
- CERTIFICATION OF COMPLETION OF PROJECT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS WILL "NOT" BE ISSUED BY THE ENGINEER OF RECORD TO THE APPROPRIATE APPROVAL AND PERMITTING AGENCIES UNTIL ALL THE REQUIREMENTS DESCRIBED HEREIN HAVE BEEN MET.

SURVEYING INFORMATION AND NOTES:

- LANDS SHOWN HEREON ARE LOCATED IN FEDERAL FLOOD ZONE AH, BASE FLOOD ELEVATION: 6.0, AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP # 120635160L, EFFECTIVE DATED JULY 17, 1995.
- CONTRACTOR SHALL VERIFY SURVEY BENCHMARKS AND EXISTING GRADE ELEVATIONS PRIOR TO THE START OF CONSTRUCTION, AND IF ANY DISCREPANCIES ARE APPARENT, REPORT THE MEASUREMENTS TO THE ENGINEER OF RECORD.
- SPECIFIC SURVEY "GRAND BAY AT DORAL" PROVIDED BY: FORD, ARMENTEROS & FERNANDEZ, INC., PROJECT NO. 05C095-4000.

TRAFFIC REGULATION

- MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE M.U.T.C.D. AND F.D.O.T.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT WRITTEN PERMISSION OF THE PERMITTING AGENCIES, FOOT AND MIAMI-DADE COUNTY PUBLIC WORKS.



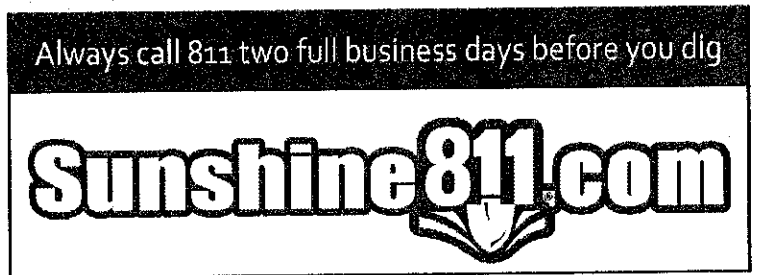
LOCATION SKETCH
SECT. 8, TWP. 53s., RNG. 40e.
SCALE: 1"=600'

LEGAL DESCRIPTION:
A PORTION OF F.P.L. RIGHT-OF-WAY AS RECORDED IN OFFICIAL RECORD BOOK 6142 AT PAGE 362 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA LYING ON THE WEST 1/2 OF SECTION 8, TOWNSHIP 53 SOUTH, RANGE 40 EAST, OF MIAMI-DADE COUNTY, FLORIDA.

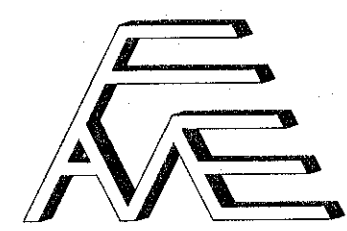
DRAWINGS INDEX	
SHEET No.	SHEET DESCRIPTION
PR-CS	COVER SHEET
PR-1	GRADING AND GEOMETRY PLAN
PR-2	GRADING AND GEOMETRY PLAN
PR-3	GRADING AND GEOMETRY PLAN
PR-4	PAVING AND MARKING PLAN
PR-5	PAVING AND MARKING PLAN
PR-6	PAVING AND MARKING PLAN
PR-7	TYPICAL SECTIONS, PAVING DETAILS AND NOTES

CONTACT PERSON INFORMATION

NAME: LAZARO A. GUERRA, P.E.
 TELEPHONE NUMBER: 305-477-6472 - EXT. 232
 FAX NUMBER: 305-477-2805
 E-MAIL ADDRESS: lguerra@ftrtco.com



THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328.FS.



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-6472
FAX (305) 477-2805

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS COMPLETED OR NOT. THEY ARE NOT TO BE USED BY OWNER OR OTHER PROJECT ENTITY FOR ANY OTHER PROJECT AND WITH APPROPRIATE COMPENSATION TO FORD ENGINEERS, INC.

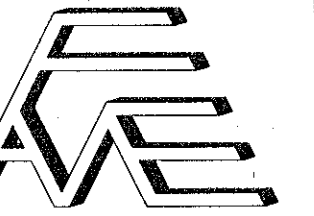
BY APP.	DESCRIPTION	DATE	NO.
M.P. L.G. <td>REVISION ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE 5-III (SP-9.5) <td>09/25/15 <td>1</td> </td></td>	REVISION ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE 5-III (SP-9.5) <td>09/25/15 <td>1</td> </td>	09/25/15 <td>1</td>	1

FPL PATROL ROAD AND BIKE PATH
 TYPE OF PROJECT: COVER SHEET
 CLIENT: LENNAR HOMES, LLC
 PROJECT ADDRESS: 780 N.W. 107th AVENUE, MIAMI, FLORIDA 33172
 PROJECT LOCATION: SECTION 8, TOWNSHIP 53 SOUTH, RANGE 40E, CITY OF DORAL, FLORIDA

SCALE: AS SHOWN
 DESIGNED BY: L. GUERRA
 DRAWN BY: M. PERAL
 CHECKED BY: L. GUERRA
 SET #:
 DATE: 04/30/15
 PROJECT No.: 12-008/8364

SHEET: PR-CS
 1 of 8

FOR THE FIRM BY:
LAZARO A. GUERRA
P.L.E. No. 53661



FORD ENGINEERS, INC.
1850 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-8472
FAX (305) 477-2805

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE TO REMAIN THE PROPERTY OF FORD ENGINEERS, INC. ANY REUSE OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AND APPROPRIATE CONSENT OF FORD ENGINEERS, INC. IS PROHIBITED.

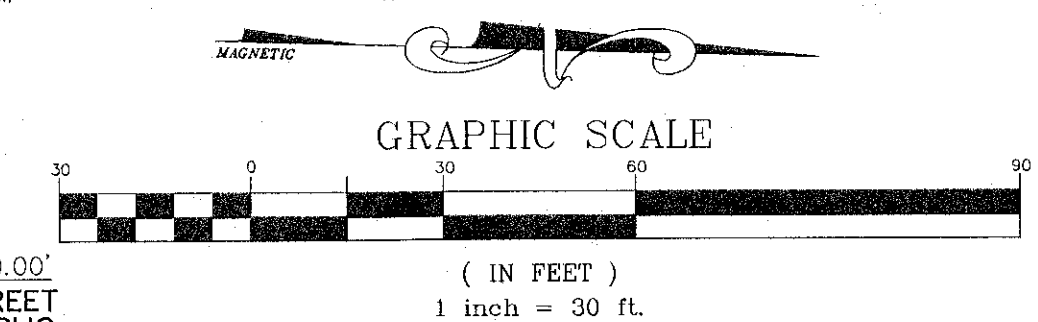
RECORD OF REVISION

NO.	DATE	DESCRIPTION
1	09/24/15	REVISED ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE S-II (SP-9.5)

TYPE OF PROJECT: GRADING AND GEOMETRY PLAN
CLIENT: LENNAR HOMES, LLC
730 N.W. 107th AVENUE
MIAMI, FLORIDA 33172
PROJ. LOC.: SECTION 8, TOWNSHIP 28 SOUTH, RANGE 40 E
CITY OF DORAL, FLORIDA

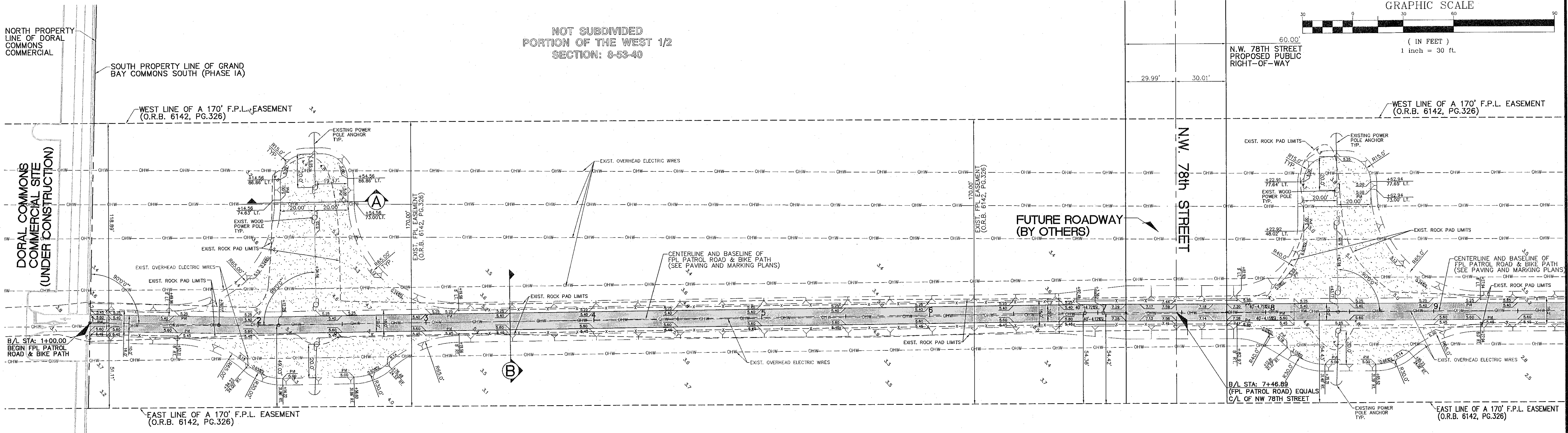
FPL PATROL ROAD AND BIKE PATH

SCALE: AS SHOWN
DESIGNED BY: L. GUERRA
DRAWN BY: M. PERAL
CHECKED BY: L. GUERRA
DATE: 04/30/15
PROJECT No: 12-008/8364
SHEET: PR-1
2 of 8



NOT SUBDIVIDED
PORTION OF THE WEST 1/2
SECTION: 8-53-40

N.W. 78th STREET
PROPOSED PUBLIC
RIGHT-OF-WAY



NOT SUBDIVIDED
S.W. 1/4 OF SECTION: 8-43-50

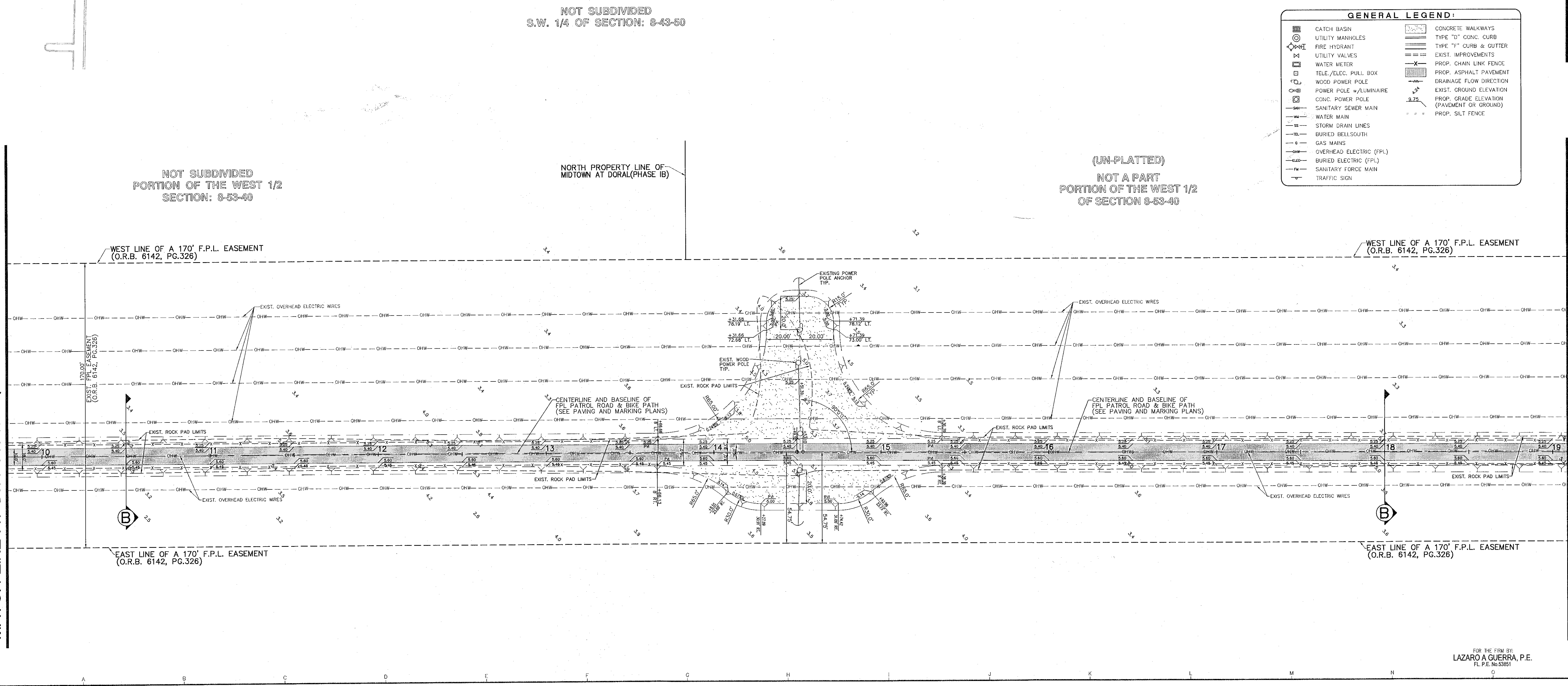
(UN-PLATTED)
NOT A PART
PORTION OF THE WEST 1/2
OF SECTION 8-53-40

GENERAL LEGEND:

	CATCH BASIN		CONCRETE WALKWAYS
	UTILITY MANHOLES		TYPE "D" CONC. CURB
	FIRE HYDRANT		TYPE "T" CURB & GUTTER
	UTILITY VALVES		EXIST. IMPROVEMENTS
	WATER METER		PROP. CHAIN LINK FENCE
	TELE./ELEC. PULL BOX		PROP. ASPHALT PAVEMENT
	WOOD POWER POLE		DRAINAGE FLOW DIRECTION
	POWER POLE w/LUMINAIRE		EXIST. GROUND ELEVATION
	CONC. POWER POLE		PROP. GRADE ELEVATION (PAVEMENT OR GROUND)
	SANITARY SEWER MAIN		PROP. SILT FENCE
	WATER MAIN		
	STORM DRAIN LINES		
	BURIED BELLSOUTH		
	GAS MAINS		
	OVERHEAD ELECTRIC (FPL)		
	BURIED ELECTRIC (FPL)		
	SANITARY FORCE MAIN		
	TRAFFIC SIGN		

MATCH LINE AT STA: 9+79.09 (SEE SHT. ABOVE AND RIGHT)

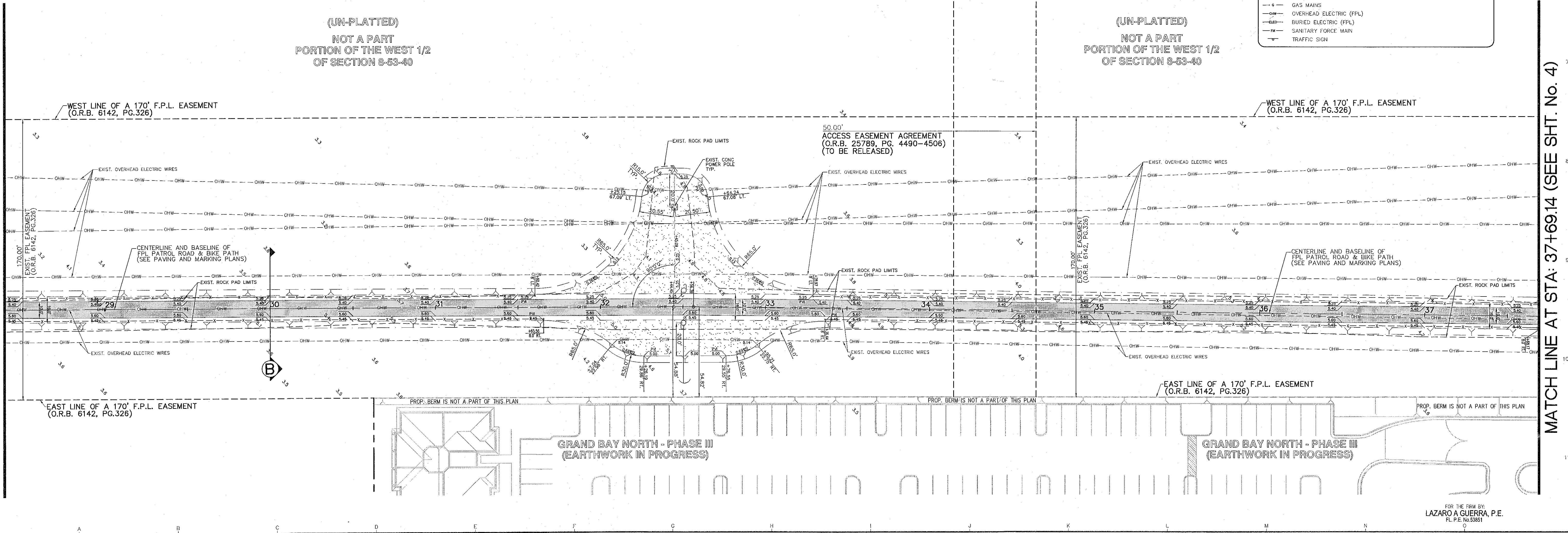
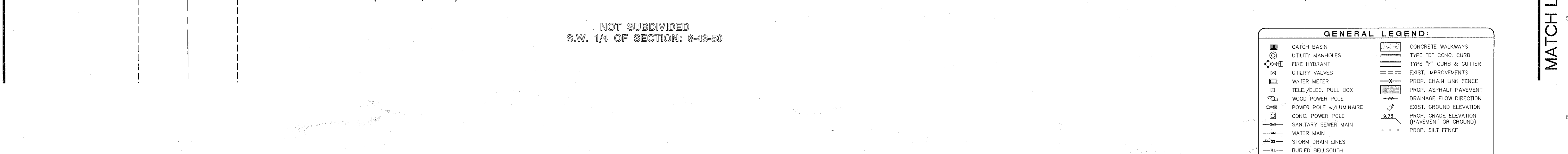
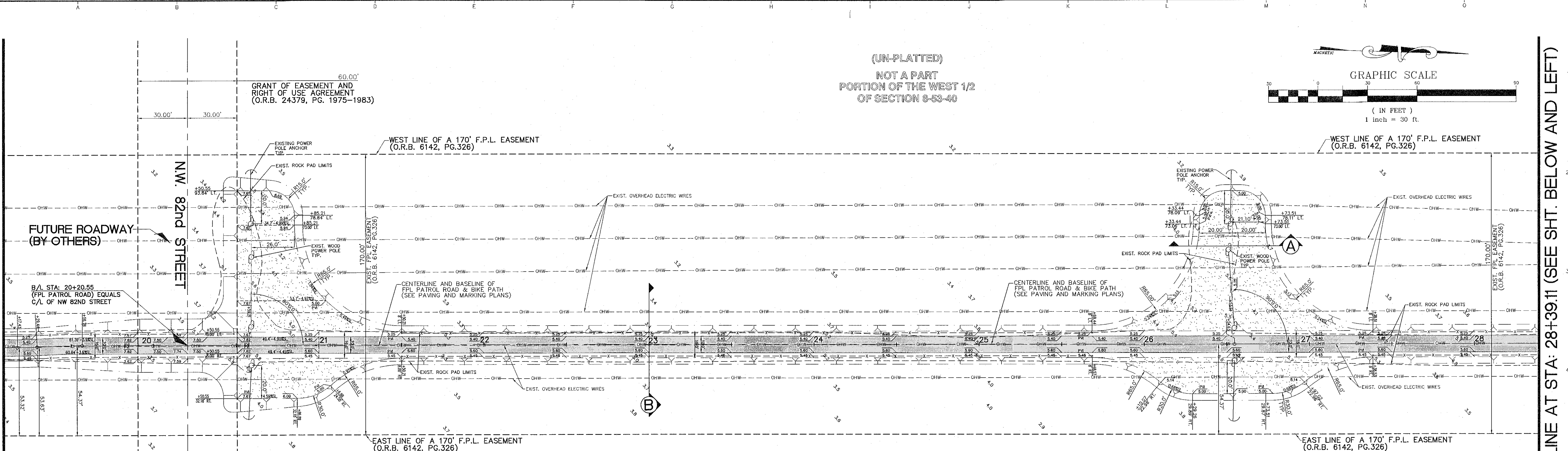
MATCH LINE AT STA: 19+09.09 (SEE SHT. No. 3)



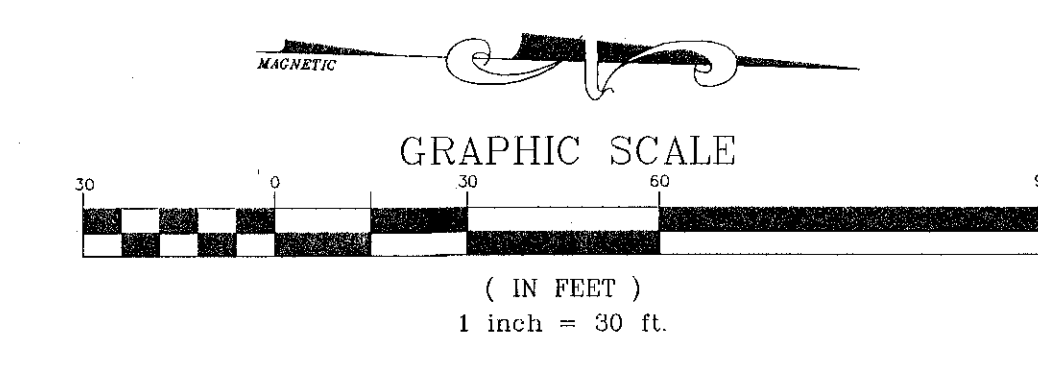
FOR THE FIRM BY:
LAZARO A GUERRA, P.E.
FL P.E. No. 05581

MATCH LINE AT STA: 19+09.09 (SEE SHT. NO. 2)

MATCH LINE AT STA: 29+39.11 (SEE ABOVE AND RIGHT)



(UN-PLATTED)
NOT A PART
PORTION OF THE WEST 1/2
OF SECTION 8-53-40



GENERAL LEGEND:

	CATCH BASIN		CONCRETE WALKWAYS
	UTILITY MANHOLES		TYPE "D" CONC. CURB
	FIRE HYDRANT		TYPE "C" CURB & GUTTER
	UTILITY VALVES		EXIST. IMPROVEMENTS
	WATER METER		PROP. CHAIN LINK FENCE
	TELE./ELEC. PULL BOX		PROP. ASPHALT PAVEMENT
	WOOD POWER POLE		DRAINAGE FLOW DIRECTION
	POWER POLE w/LUMINAIRE		EXIST. GROUND ELEVATION
	CONC. POWER POLE		PROP. GRADE ELEVATION
	SANITARY SEWER MAIN		PROP. OR GROUND
	WATER MAIN		PROP. SILT FENCE
	STORM DRAIN LINES		
	BURIED BELLSOUTH		
	GAS MAINS		
	OVERHEAD ELECTRIC (FPL)		
	BURIED ELECTRIC (FPL)		
	SANITARY FORCE MAIN		
	TRAFFIC SIGN		

FORD ENGINEERS, INC.
1930 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH: (305) 477-8472
FAX: (305) 477-2805

RECORD OF REVISION

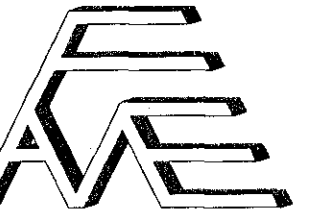
NO.	DATE	DESCRIPTION	BY	APP.
1	09/24/15	REVISED ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE S-III (SP-9.5)	M.P.F.	L.C.

FPL PATROL ROAD AND BIKE PATH

TYPE OF PROJECT: GRADING AND GEOMETRY PLAN
CLIENT: LENNAR HOMES, LLC
PROJECT ADDRESS: 1700 N.W. 94th AVENUE, MIAMI, FLORIDA 33172
PROJ. LOC.: SECTION 8, TOWNSHIP 36 SOUTH, RANGE 40 E. CITY OF DORAL, FLORIDA

SCALE: AS SHOWN
DESIGNED BY: L. GUERRA
DRAWN BY: M. PERAL
CHECKED BY: L. GUERRA
DATE: 04/30/15
PROJECT No: 12-008/8364
SHEET: PR-2
3 of 8

FOR THE FIRM BY: LAZARO A GUERRA, P.E.
PL. P.E. No. 53851



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-8472
FAX (305) 477-2865

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OTHERS ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO FORD ENGINEERS, INC.

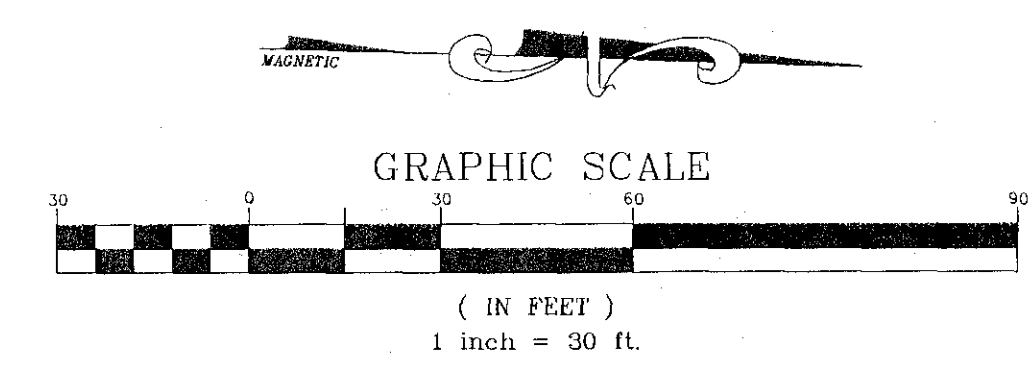
RECORD OF REVISION

NO.	DATE	DESCRIPTION
1	05/24/15	REVISED ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE S-III (SP-9.5)

FPL PATROL ROAD AND BIKE PATH
GRADING AND GEOMETRY PLAN
LENNAR HOMES, LLC
730 N.W. 107th AVENUE
MIAMI, FLORIDA 33172
PROJECT: SECTION 8, TOWNSHIP 8 SOUTH, RANGE 40 E. CITY OF DORAL, FLORIDA

SCALE: AS SHOWN
DESIGNED BY: L. GUERRA
DRAWN BY: M. PERAL
CHECKED BY: L. GUERRA
DATE: 04/30/15
PROJECT NO: 12-008/8364

SHEET: PR-3
4 OF 8



N.W. 107TH AVENUE (THEORETICAL) WEST LINE OF N.W. 1/4 OF SECTION 8-53-40

10' BELLSOUTH EASEMENT (PB. 18951, PG. 2578)
10' BELLSOUTH EASEMENT (PB. 18951, PG. 2578)

10' BELLSOUTH EASEMENT (PB. 22562, PG. 857)

SOUTH LINE OF A 240' F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

200.00' EXIST. FPL EASEMENT (O.R.B. 6142, PG. 326)

(UN-PLATTED)
NOT A PART
PORTION OF THE WEST 1/2
OF SECTION 8-53-40

60.00' N.W. 88TH STREET PROPOSED PUBLIC RIGHT-OF-WAY

WEST LINE OF A 170' F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

WEST LINE OF A 170' F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

PROPOSED ROADWAY UNDER CONSTRUCTION BY OTHERS

B/L STA: 40+01.14 (FPL PATROL ROAD) EQUALS C/L OF NW 82ND STREET
CENTERLINE AND BASELINE OF FPL PATROL ROAD & BIKE PATH (SEE PAVING AND MARKING PLANS)

EAST LINE OF A 170' F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

EAST LINE OF F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

MATCH LINE AT STA: 37+69.14 (SEE SHT. No. 3)

GRAND BAY NORTH - PHASE III (EARTHWORK IN PROGRESS)

GRAND BAY NORTH CLUB HOUSE SITE (UNDER DESIGN)

F.P.L. PROPERTY (NOT A PART)

GENERAL LEGEND:

	CATCH BASIN		CONCRETE WALKWAYS
	UTILITY MANHOLES		TYPE "D" CONC. CURB
	FIRE HYDRANT		TYPE "F" CURB & GUTTER
	UTILITY VALVES		EXIST. IMPROVEMENTS
	WATER METER		PROP. CHAIN LINK FENCE
	TELE/ELEC. PULL BOX		PROP. ASPHALT PAVEMENT
	WOOD POWER POLE		DRAINAGE FLOW DIRECTION
	POWER POLE w/ALUMINAIRE		EXIST. GROUND ELEVATION
	CONC. POWER POLE		PROP. GRADE ELEVATION (PAVEMENT OR GROUND)
	SANITARY SEWER MAIN		PROP. SILT FENCE
	WATER MAIN		
	STORM DRAIN LINES		
	BURIED BELLSOUTH		
	GAS MAINS		
	OVERHEAD ELECTRIC (FPL)		
	BURIED ELECTRIC (FPL)		
	SANITARY FORCE MAIN		
	TRAFFIC SIGN		

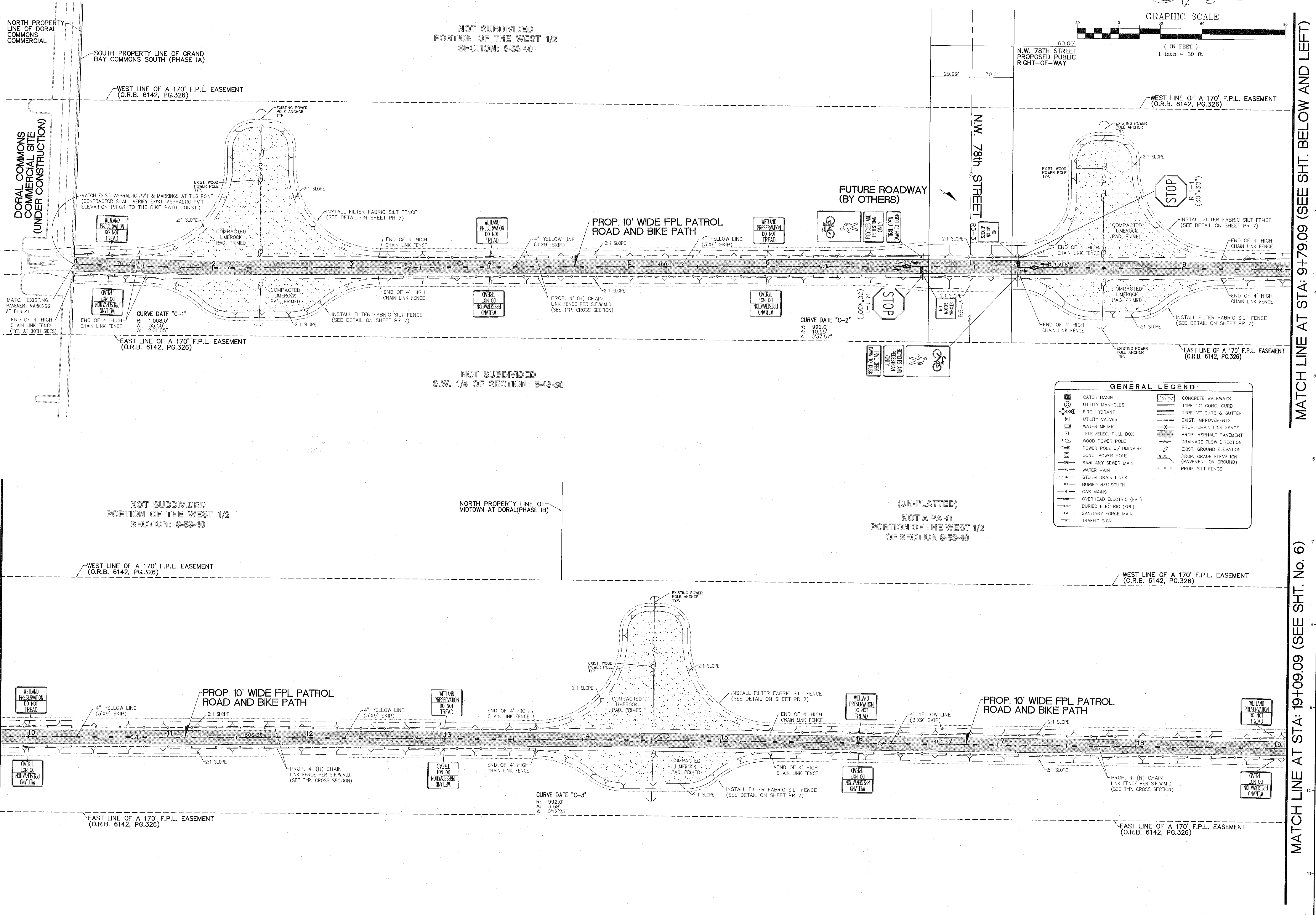
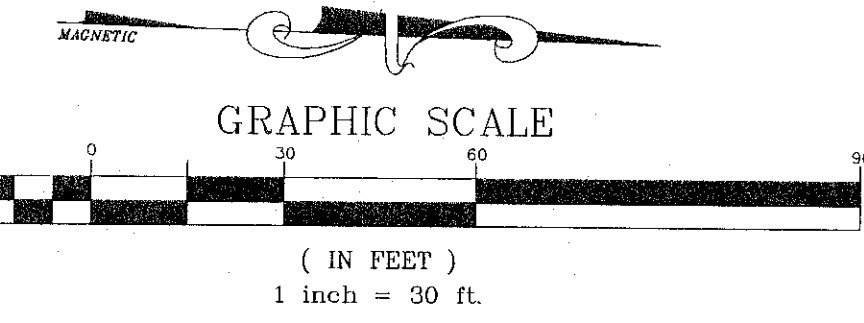
FOR THE FIRM OF:
LAZARO A GUERRA, P.E.
FL P.E. No. 53851

NOT SUBDIVIDED
PORTION OF THE WEST 1/2
SECTION: 8-53-40

NOT SUBDIVIDED
S.W. 1/4 OF SECTION: 8-43-50

NOT SUBDIVIDED
PORTION OF THE WEST 1/2
SECTION: 8-53-40

(UN-PLATTED)
NOT A PART
PORTION OF THE WEST 1/2
OF SECTION 8-53-40



GENERAL LEGEND:

	CATCH BASIN		CONCRETE WALKWAYS
	UTILITY MANHOLES		TYPE "D" CONC. CURB
	FIRE HYDRANT		TYPE "T" CURB & GUTTER
	UTILITY VALVES		EXIST. IMPROVEMENTS
	WATER METER		PROP. CHAIN LINK FENCE
	TELE./ELEC. PULL BOX		PROP. ASPHALT PAVEMENT
	WOOD POWER POLE		DRAINAGE FLOW DIRECTION
	POWER POLE w/ LUMINAIRE		EXIST. GROUND ELEVATION
	CONC. POWER POLE		PROP. GRADE ELEVATION (PAVEMENT OR GROUND)
	SANITARY SEWER MAIN		PROP. SILT FENCE
	WATER MAIN		
	STORM DRAIN LINES		
	BURIED BELLSOUTH		
	GAS MAINS		
	OVERHEAD ELECTRIC (FPL)		
	BURIED ELECTRIC (FPL)		
	SANITARY FORCE MAIN		
	TRAFFIC SIGN		



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-6472
FAX (305) 477-2805

PERMITS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS, INC. THESE PERMITS SHALL BE RETURNED TO THE USER BY OWNER ON PROJECT COMPLETION EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO FORD ENGINEERS, INC.

RECORD OF REVISION

NO.	DATE	DESCRIPTION	BY	APP.
1	09/24/15	REVISED ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE S-III (SP-9.5)	M.P.	L.G.

FPL PATROL ROAD AND BIKE PATH
PAVING AND MARKING PLAN
CLIENT: LENNAR HOMES, LLC
730 N.W. 107th AVENUE
MIAMI, FLORIDA 33172
PROJ. LOC. SECTIONS 16, 17, 18, 19, 20 SOUTH, RANGE 40E, CITY OF DORAL, FLORIDA

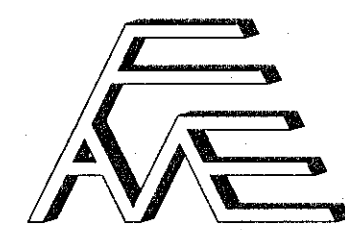
SCALE: AS SHOWN
DESIGNED BY: L. GUERRA
DRAWN BY: M. PERAL
CHECKED BY: L. GUERRA
DATE: 04/30/15
PROJECT No: 12-008/8364

SHEET: PR-4
5 of 8

MATCH LINE AT STA: 9+79.09 (SEE SHT. ABOVE AND RIGHT)

MATCH LINE AT STA: 19+09.09 (SEE SHT. No. 6)

MATCH LINE AT STA: 9+79.09 (SEE SHT. BELOW AND LEFT)



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-8472
FAX (305) 477-2805

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS COMPLETED OR NOT. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF FORD ENGINEERS, INC.

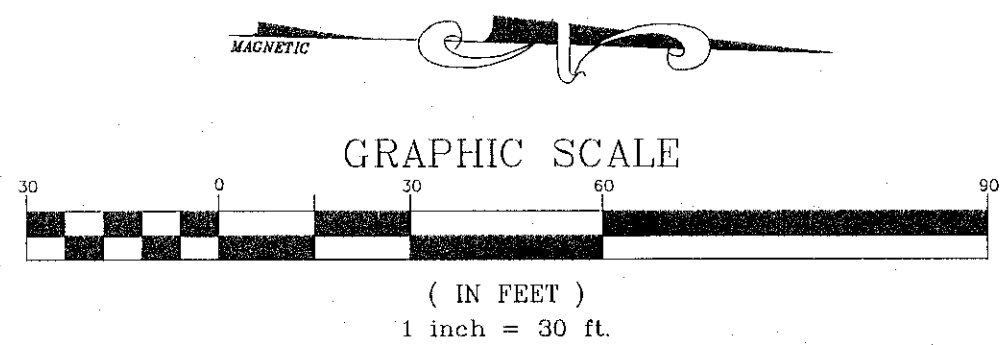
RECORD OF REVISION

NO.	DATE	DESCRIPTION	BY	APP.
1	09/24/15	REVISED ASPHALTIC PAVEMENT THICKNESS TO 1" TYPE S-III (SP-5.5)	M.P.L.	L.G.

TYPE OF PROJECT: PAVING AND MARKING PLAN
CLIENT: LENNAR HOMES, LLC
730 N.W. 107th AVENUE
MIAMI, FLORIDA 33172
PROJ. LOC.: SECTION 8, TOWNSHIP 35 SOUTH, RANGE 40 E
CITY OF DORAL, FLORIDA

SCALE: AS SHOWN
DESIGNED BY: L. GUERRA
DRAWN BY: M. PERAL
CHECKED BY: L. GUERRA
DATE: 04/30/15
PROJECT No.: 12-008/8364
SHEET: PR-6

7 OF 8



N.W. 107TH AVENUE (THEORETICAL) WEST LINE OF N.W. 1/4 OF SECTION 8-53-40

NORTHWEST CORNER OF SECTION 8-53-40

10' BELLSOUTH EASEMENT (PB. 18951, PG. 2578)

10' BELLSOUTH EASEMENT (PB. 18951, PG. 2578)

10' BELLSOUTH EASEMENT (PB. 22562, PG. 857)

GENERAL LEGEND:

	CATCH BASIN		CONCRETE WALKWAYS
	UTILITY MANHOLES		TYPE "D" CONC. CURB
	FIRE HYDRANT		TYPE "F" CURB & GUTTER
	UTILITY VALVES		EXIST. IMPROVEMENTS
	WATER METER		PROP. CHAIN LINK FENCE
	TELE./ELEC. PULL BOX		PROP. ASPHALT PAVEMENT
	WOOD POWER POLE		DRAINAGE FLOW DIRECTION
	POWER POLE w/ LUMINAIRE		EXIST. GROUND ELEVATION
	CONC. POWER POLE		PROP. GRADE ELEVATION (PAVEMENT OR GROUND)
	SANITARY SEWER MAIN		PROP. SILT FENCE
	WATER MAIN		
	STORM DRAIN LINES		
	BURIED BELLSOUTH		
	GAS MAINS		
	OVERHEAD ELECTRIC (FPL)		
	BURIED ELECTRIC (FPL)		
	SANITARY FORCE MAIN		
	TRAFFIC SIGN		

SOUTH LINE OF A 240' F.P.L. EASEMENT (O.R.B. 6142, PG. 326)

MATCH EXIST. BACK OF CONC. SIDEWALK (CONTRACTOR SHALL VERIFY BACK OF SWK ELEVATION PRIOR TO BIKE PATH CONST.)

END OF 4' HIGH CHAIN LINK FENCE

N.W. 90TH STREET

(UN-PLATTED)
NOT A PART
PORTION OF THE WEST 1/2
OF SECTION 8-53-40

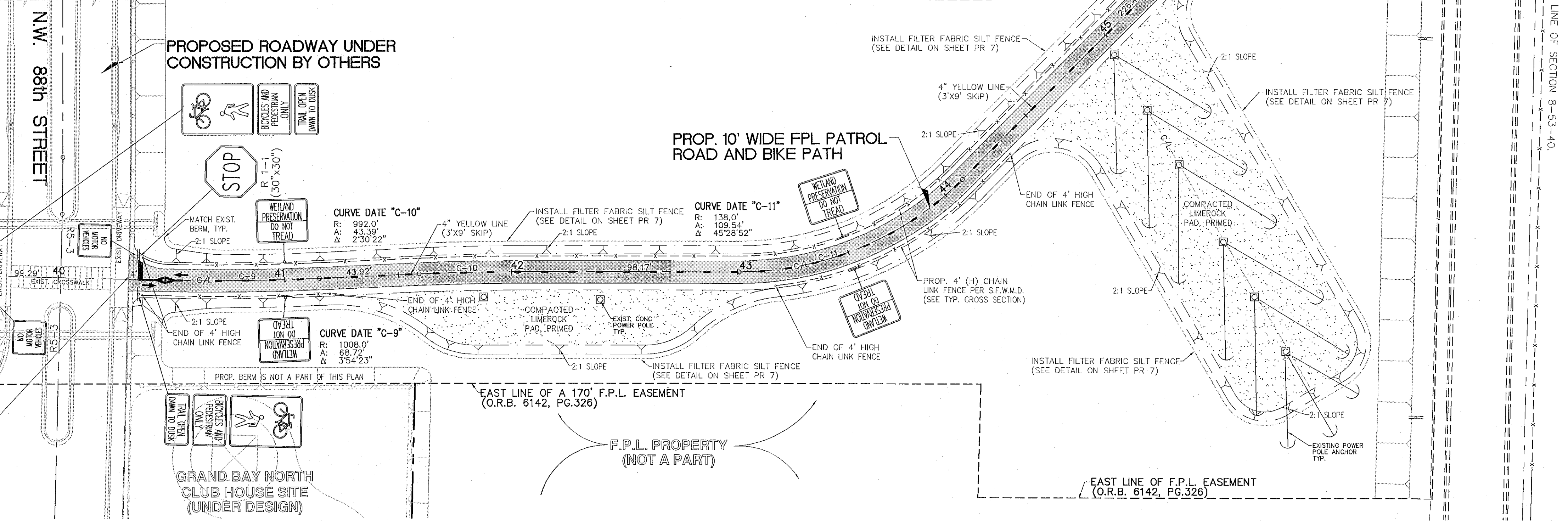
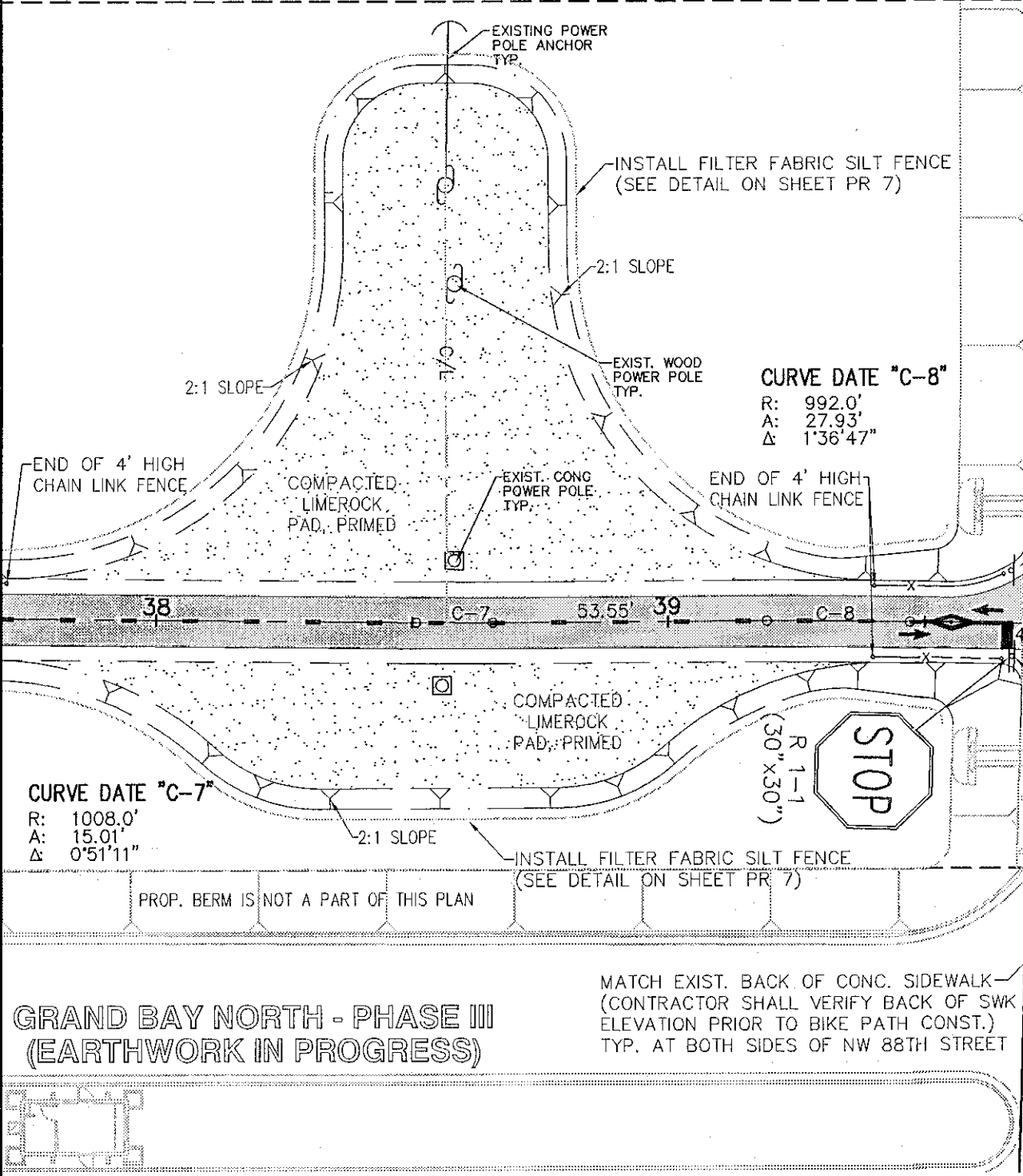
N.W. 88TH STREET
PROPOSED PUBLIC
RIGHT-OF-WAY

WEST LINE OF A 170' F.P.L. EASEMENT (O.R.B. 6142, PG.326)

WEST LINE OF A 170' F.P.L. EASEMENT (O.R.B. 6142, PG.326)

PROPOSED ROADWAY UNDER CONSTRUCTION BY OTHERS

PROP. 10' WIDE FPL PATROL ROAD AND BIKE PATH



MATCH LINE AT STA: 37+69.14 (SEE SHT. No. 3)

GRAND BAY NORTH - PHASE III (EARTHWORK IN PROGRESS)

MATCH EXIST. BACK OF CONC. SIDEWALK (CONTRACTOR SHALL VERIFY BACK OF SWK ELEVATION PRIOR TO BIKE PATH CONST.) TYP. AT BOTH SIDES OF NW 88TH STREET

GRAND BAY NORTH CLUB HOUSE SITE (UNDER DESIGN)

F.P.L. PROPERTY (NOT A PART)

EAST LINE OF F.P.L. EASEMENT (O.R.B. 6142, PG.326)

